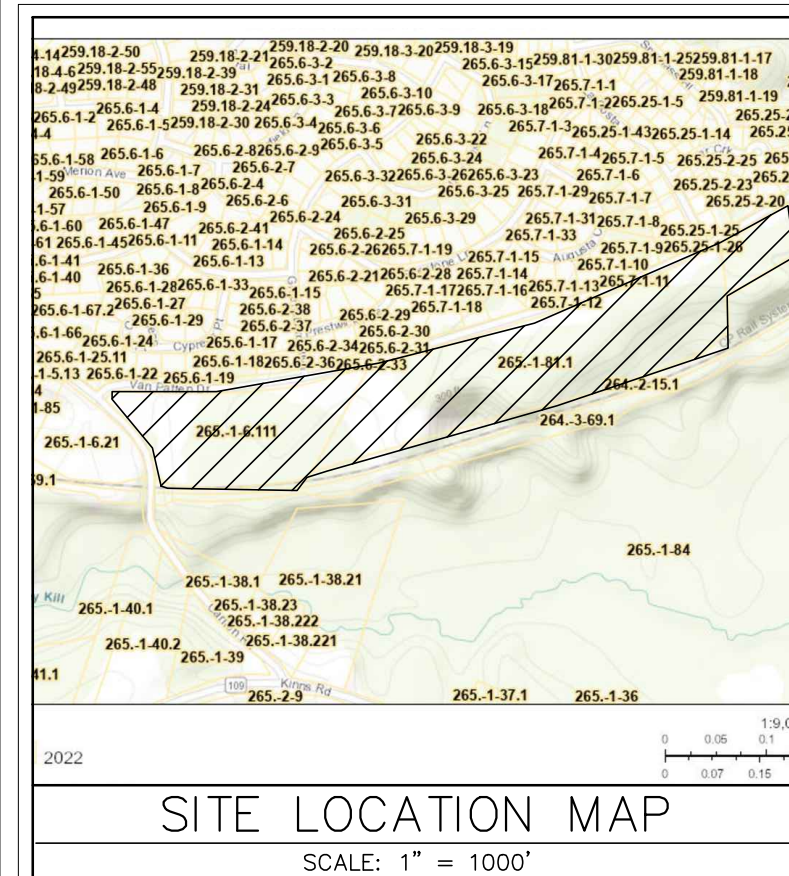




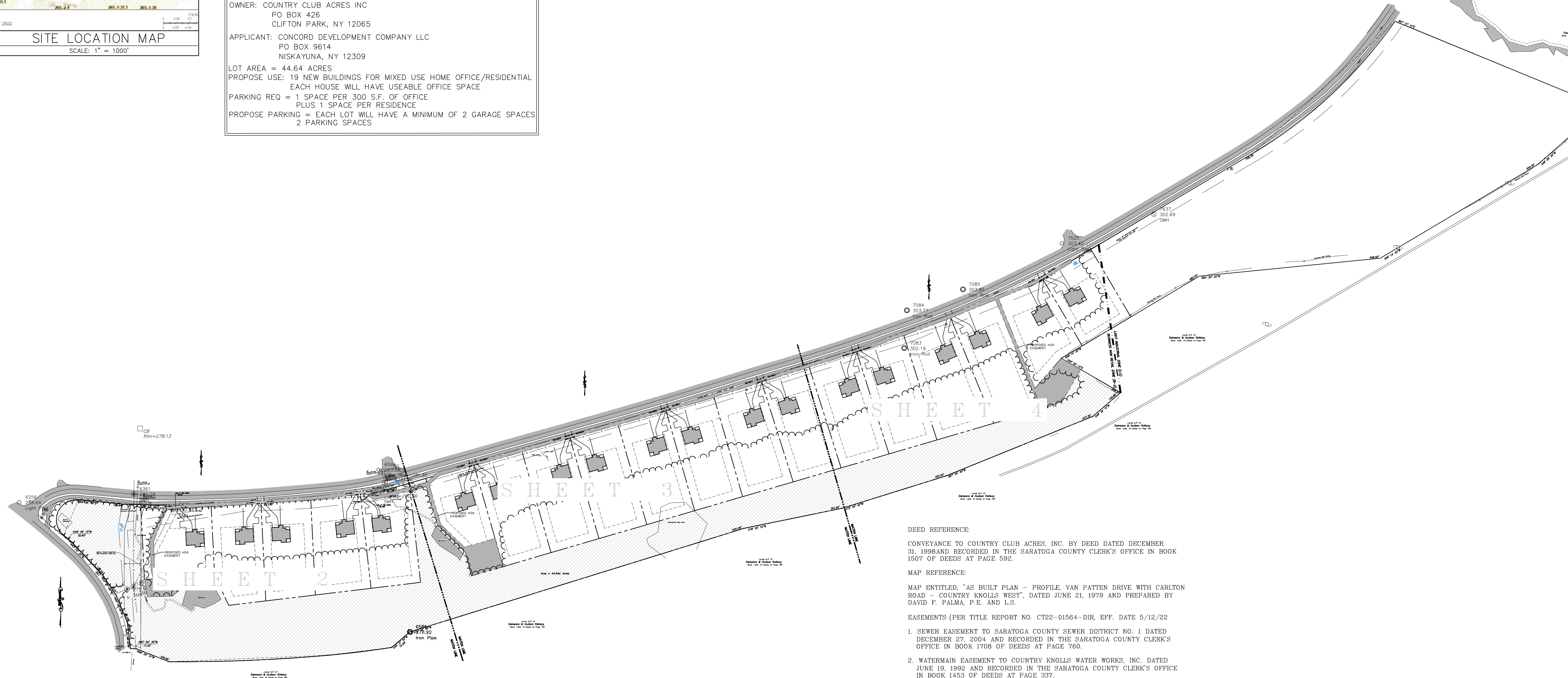
SITE ZONING

ZONE 1: BUSINESS NON RETAIL ZONE (B-2)
 PERMITTED USE: MIXED USE OFFICE/RESIDENTIAL
 ZONE 2: LIGHT INDUSTRIAL ZONE (LI)
 REQUIRE ZONE CHANGE TO B-2 FOR PROPOSED USE
 MINIMUM LOT SIZE: 40,000 S.F.
 MINIMUM LOT WIDTH: 150 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MINIMUM FRONT YARD: 70 FT
 MINIMUM SIDE YARD: 25 FT
 MINIMUM REAR YARD: 25 FT
 MAXIMUM LOT COVERAGE: 50%

SITE STATISTICS

ADDRESS: VAN PATTEN DRIVE
SBL: 265-1-6.111, 265-1-81.1 & PORTION OF 265-1-72.11
OWNER: COUNTRY CLUB ACRES INC
PO BOX 426
CLIFTON PARK, NY 12065
APPLICANT: CONCORD DEVELOPMENT COMPANY LLC
PO BOX 9614
NISKAYUNA, NY 12309
LOT AREA = 44.64 ACRES
PROPOSE USE: 19 NEW BUILDINGS FOR MIXED USE HOME OFFICE/RESIDENTIAL
EACH HOUSE WILL HAVE USEABLE OFFICE SPACE
PARKING REQ = 1 SPACE PER 300 S.F. OF OFFICE
PLUS 1 SPACE PER RESIDENCE
PROPOSE PARKING = EACH LOT WILL HAVE A MINIMUM OF 2 GARAGE SPACES
2 PARKING SPACES

1. NO INDIVIDUAL LOT DRIVEWAY ACCESS WILL BE ALLOWED FROM VAN PATTEN DRIVE ON LOTS 2 THROUGH 19. A SHARED DRIVEWAY ENTRANCE SHALL BE CONSTRUCTED BY THE DEVELOPER BETWEEN LOTS: 2 & 3; 4 & 5; 6 & 7; 8 & 9; 10 & 11; 12 & 13; 14 & 15; 16 & 17; AND 18 & 19.
2. THESE PARCELS ARE LOCATED ADJACENT TO AN ACTIVE RAILROAD LINE. PROPERTY OWNERS MAY EXPERIENCE IMPACTS COMMONLY ASSOCIATED WITH RAILROAD ACTIVITIES INCLUDING BUT NOT LIMITED TO PERIODIC NOISE, VIBRATION, HOURS OF OPERATION AND OTHER ASSOCIATED RAILROAD MAINTENANCE AND OPERATIONS ACTIVITIES
3. THE DESIGNATED OFFICE PORTION OF EACH STRUCTURE SHALL BE ONLY USED FOR USES OTHER THAN RESIDENTIAL PERMITTED PER TOWN CODE 208-32 PERMITTED USES DESIGNATED FOR THE B-1 ZONING CODE. THIS NOTE SHALL BE ADDED TO ALL DEEDS



DEED REFERENCE:

CONVEYANCE TO COUNTRY CLUB ACRES, INC. BY DEED DATED DECEMBER 31, 1998 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 1507 OF DEEDS AT PAGE 592.

MAP REFERENCE:

MAP ENTITLED, "AS BUILT PLAN - PROFILE, VAN PATTEN DRIVE WITH CARLTON ROAD - COUNTRY KNOLLS WEST", DATED JUNE 21, 1979 AND PREPARED BY DAVID F. PALMA, P.E. AND L.S.

EASEMENTS: (PER TITLE REPORT NO. CT22-01564-DIR, EFF. DATE 5/12/22)

1. SEWER EASEMENT TO SARATOGA COUNTY SEWER DISTRICT NO. 1 DATED DECEMBER 27, 2004 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 1708 OF DEEDS AT PAGE 760.
2. WATERMAIN EASEMENT TO COUNTRY KNOLLS WATER WORKS, INC. DATED JUNE 19, 1992 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 1453 OF DEEDS AT PAGE 337.
3. OPTION AND LEASE AGREEMENT DATED NOVEMBER 5, 2004 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 1700 OF DEEDS AT PAGE 739.

NOTES:

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE AND/OR TITLE REPORT AND MAY BE SUBJECT TO WHATEVER STATEMENT OF FACTS THEY MAY REVEAL.
2. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
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5. OFFSETS OR DIMENSIONS FROM THE PROPERTY LINE TO STRUCTURES OR IMPROVEMENTS ARE SHOWN FOR THE PURPOSE TO POSITION IT RELATIVE TO THE PROPERTY LINE AND/OR COMPLIANCE WITH ZONING, AND ARE NOT INTENDED TO MONUMENT THE PROPERTY LINES OR GUIDE IN THE LOCATION OF FENCES OR OTHER IMPROVEMENTS TO THE LAND.

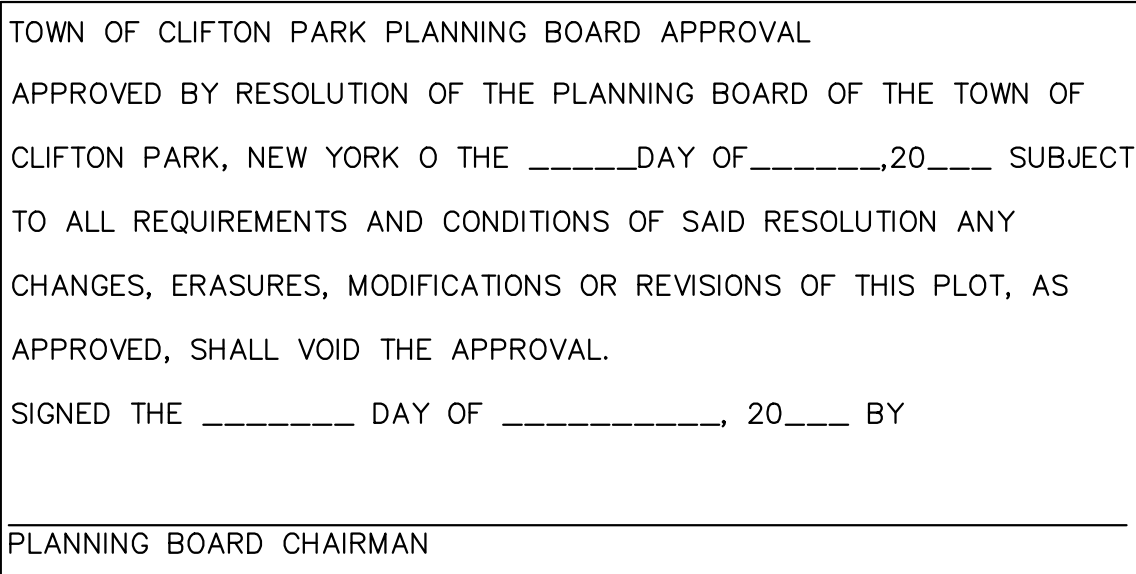
TOWN OF CLIFTON PARK PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF
CLIFTON PARK, NEW YORK O THE ____DAY OF____,20____ SUBJECT
TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION ANY
CHANGES, ERASURES, MODIFICATIONS OR REVISIONS OF THIS PLOT, AS
APPROVED, SHALL VOID THE APPROVAL.

SIGNED THE _____ DAY OF _____, 20____ BY

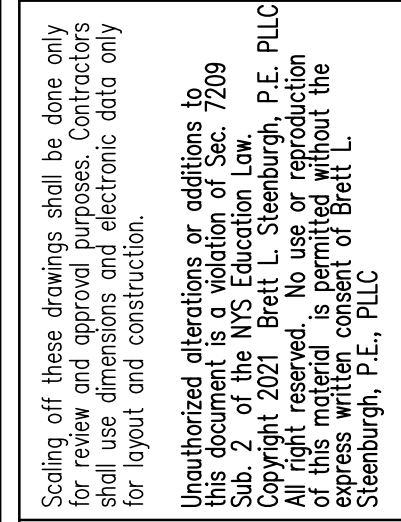
PLANNING BOARD CHAIRMAN

OVERALL PLAN		BRETT L. STEENBURGH, P.E. PLLC	
CONCORD DEVELOPMENT		2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteengr@bsteengr.com	
VAN PATTEN DRIVE			
TOWN OF CLIFTON PARK		ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY	
COUNTY OF SARATOGA	STATE OF NEW YORK	CHECKED BY: JMS/ML	SCALE: 1" = 150'
DRAWN BY: FILED			SHEET 1 OF 12
DATE:			



SHEET 2 OF 12

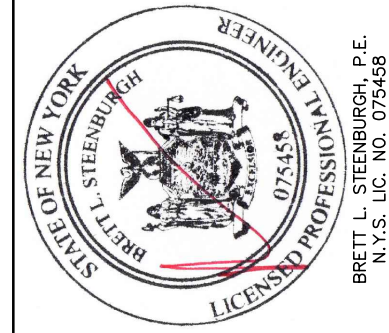
IMAGINATION INTO REALITY

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Lands N/F Of
Delaware & Hudson Railway
Book 1304 Of Deeds At Page 461

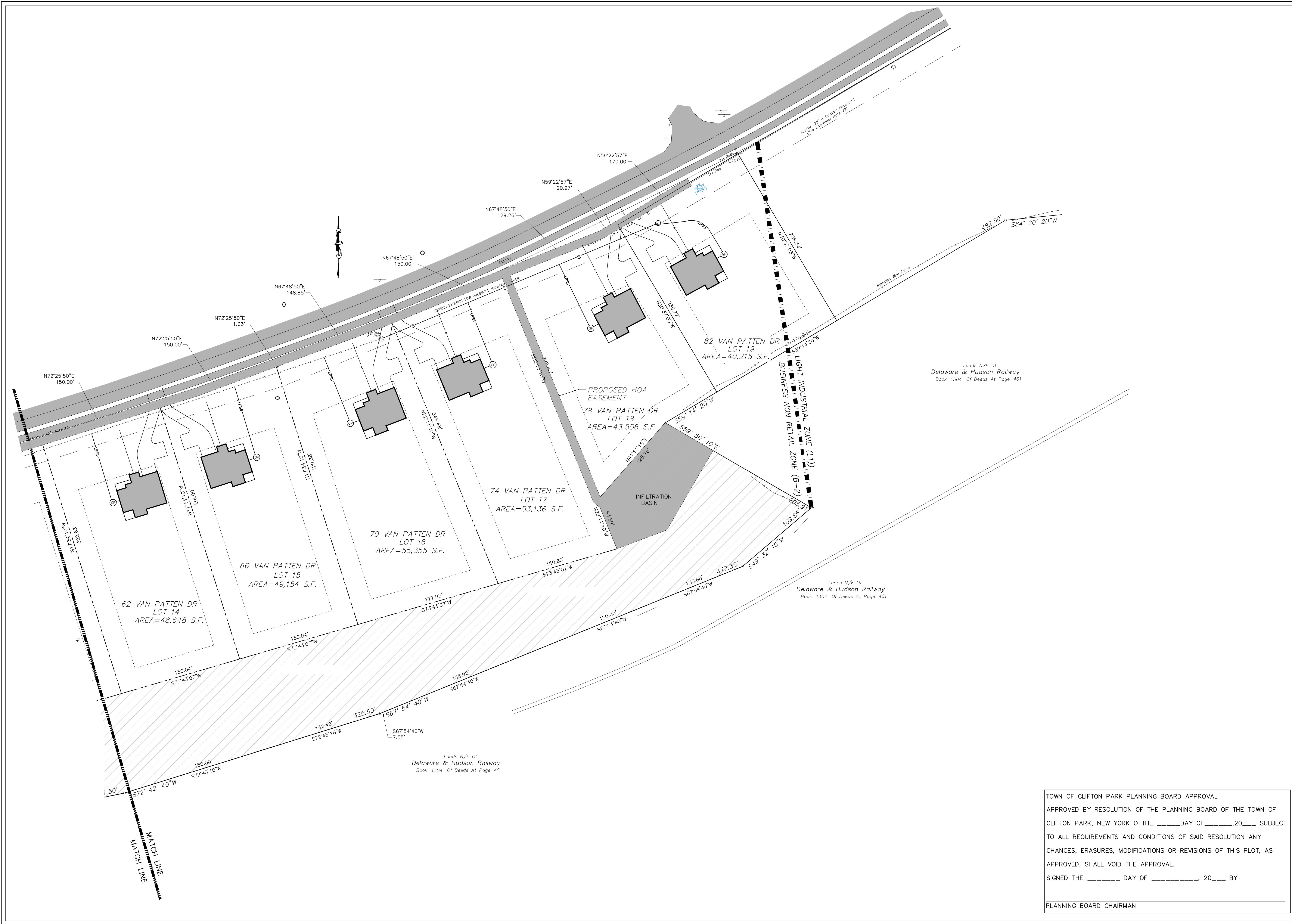
PLANNING BOARD CHAIRMAN



Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

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TOWN OF CLIFTON PARK PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CLIFTON PARK, NEW YORK ON THE ____DAY OF____,20____ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION ANY CHANGES, ERASURES, MODIFICATIONS OR REVISIONS OF THIS PLOT, AS APPROVED, SHALL VOID THE APPROVAL.

SIGNED THE ____ DAY OF _____, 20____ BY _____

PLANNING BOARD CHAIRMAN

SITE PLAN 3

CONCORD DEVELOPMENT COMPANY LLC

VAN PATTEN DRIVE

TOWN OF CLIFTON PARK

COUNTY OF SARATOGA

DRAWN BY: _____

CADD FILE: _____

DATE: _____

STATE OF NEW YORK

SCALE: 1" = 50'

SHEET 4 OF 12

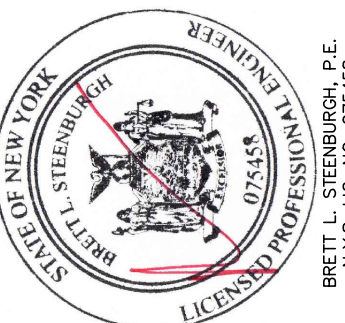
BRETT L. STEENBURGH, P.E. PLLC

2832 Rosendale Road

Niskayuna, NY 12309

(518) 365-0675

bsteenburgpe@gmail.com



ENGINEERING THAT TRANSFORMS

IMAGINATION INTO REALITY



Scaling off these drawings shall be done only by the person who prepared the drawings. No other person shall use dimensions and electronic data only for layout and construction.

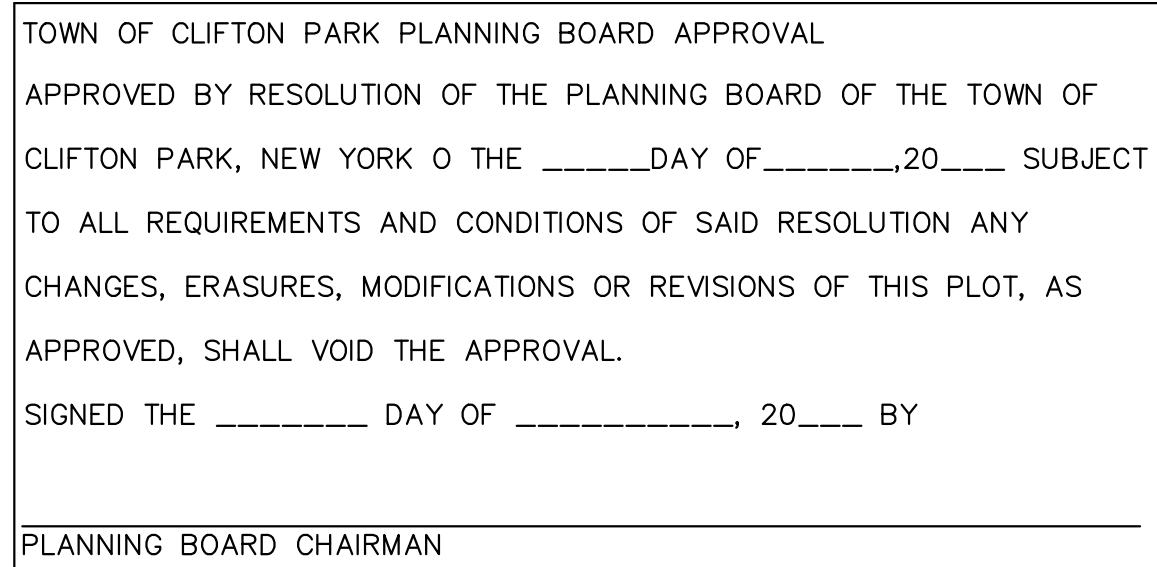
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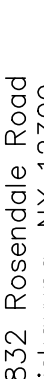
DATE:

REVISIONS:

BY:

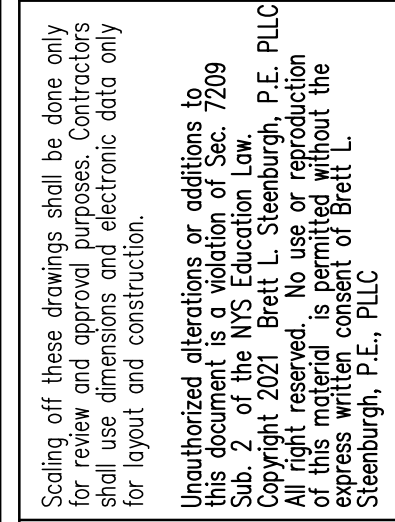


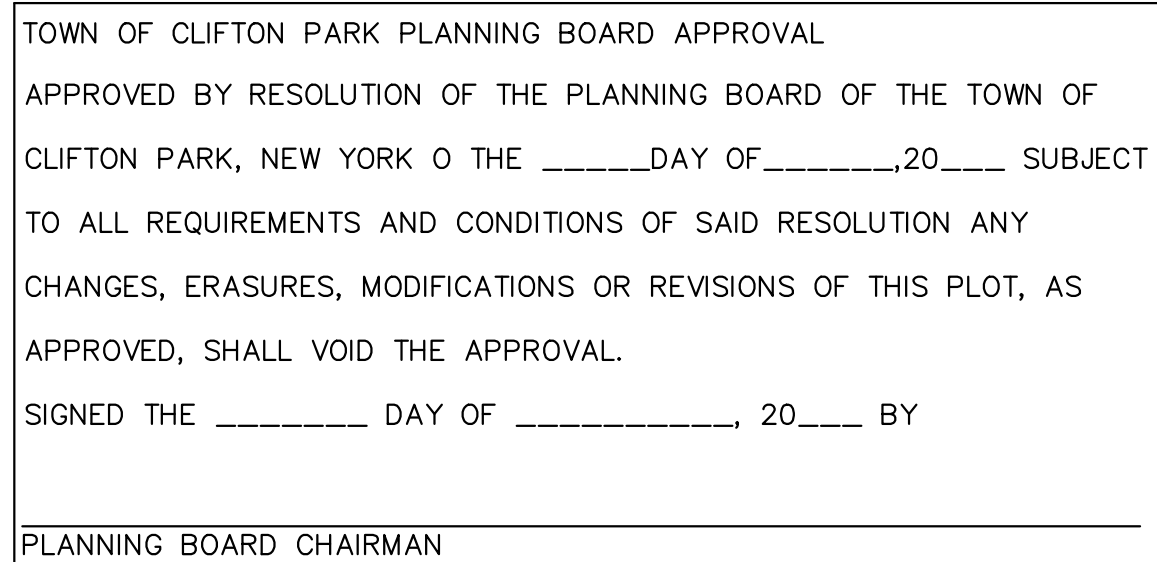
COUNTY OF SARATOGA	CHECKED BY: JOB NO.	STATE OF NEW YORK
DRAWN BY: CADD FILE:		SCALE: 1" = 50'
DATE:		SHEET 6 OF 12



**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

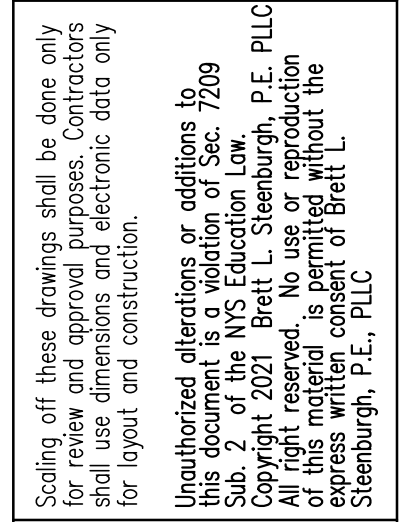
2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675
basteenburghpe@gmail.com

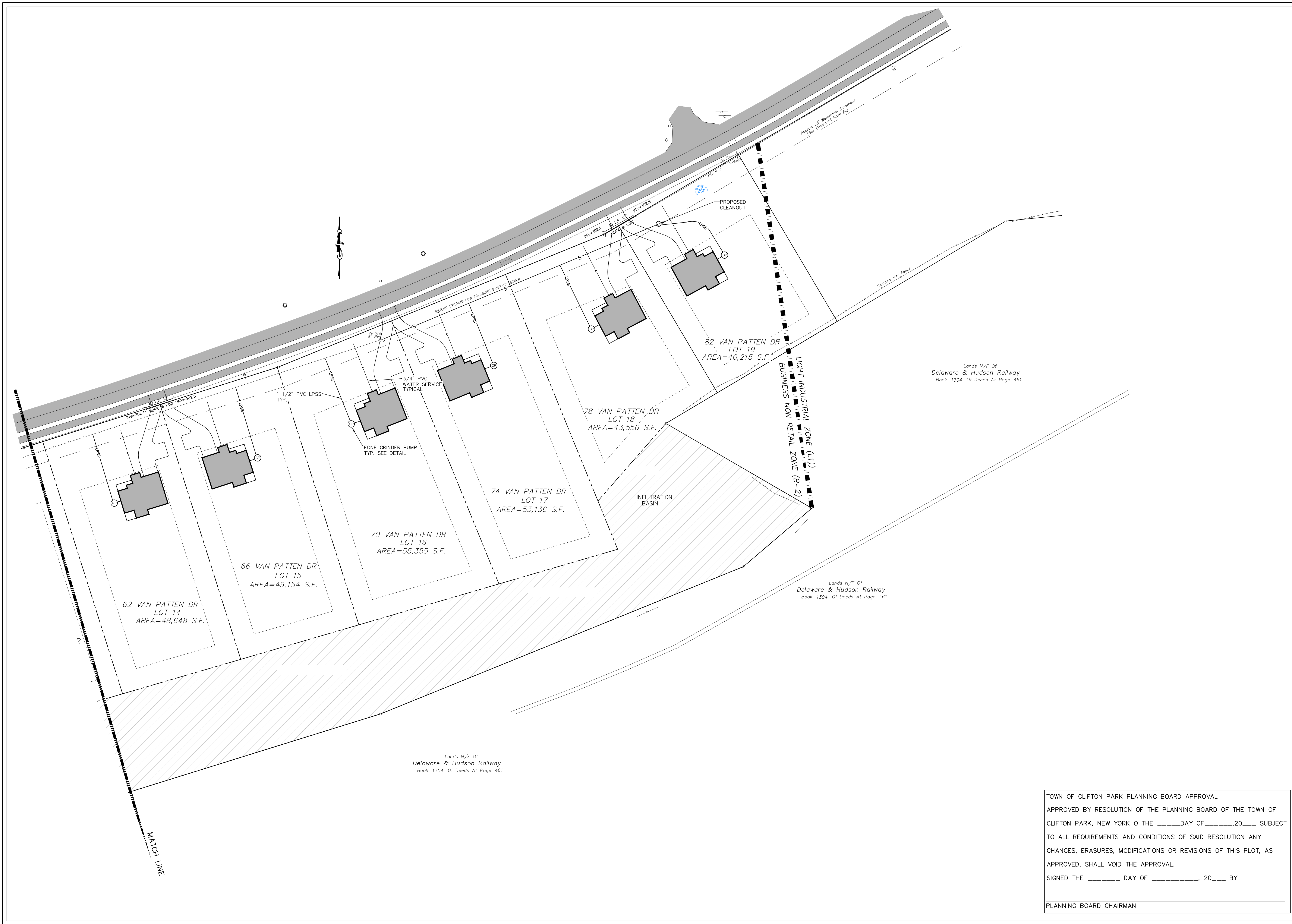
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SHEET 9 OF 12

ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY





TOWN OF CLIFTON PARK PLANNING BOARD APPROVAL

APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF CLIFTON PARK, NEW YORK ON THE ____DAY OF____,20____ SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION ANY CHANGES, ERASURES, MODIFICATIONS OR REVISIONS OF THIS PLOT, AS APPROVED, SHALL VOID THE APPROVAL.

SIGNED THE ____ DAY OF _____, 20____ BY _____

PLANNING BOARD CHAIRMAN

UTILITY PLAN 3

CONCORD DEVELOPMENT COMPANY LLC

VAN PATTEN DRIVE

TOWN OF CLIFTON PARK

COUNTY OF SARATOGA

DRAWN BY:

CADD FILE:

DATE:

STATE OF NEW YORK

SCALE: 1" = 50'

SHEET 10 OF 12

BRETT L. STEENBURGH, P.E. PLLC

2632 Rosendale Road

Niskayuna, NY 12309

(518) 365-0675

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ENGINEERING THAT TRANSFORMS

IMAGINATION INTO REALITY

STATE OF NEW YORK

BRETT L. STEENBURGH, P.E.

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